

IV

Urban Design

1. INTENT

Urban design considers the inter-relationship among buildings, streets, private open space (like yards and courtyards), and publicly-accessible open spaces (like parks, plazas, and conservation areas). For Volcano Heights, urban design standards focus on ways to make places where walking is a more attractive option, where a sense of community is fostered, where resources are used more efficiently, and where the scenic beauty of the area is celebrated. The Urban Design element seeks to establish functional relationships that foster healthy communities, add economic value, and to enhance Albuquerque's aesthetic character. These objectives are essential, not only for the well-being of local residents and workers, but also as an important ingredient for attracting and retaining businesses in a global economy.

Neighborhoods & Mixed-Use Centers. Walkable mixed-use neighborhoods and mixed-use centers provide the basic building blocks for more livable—and environmentally sustainable—places. Design plays a vital role in their creation. At a large scale, the arrangement of complementary land uses and transportation can influence how easily people can walk to local destinations or transit. At the scale of the street, landscaping and street-facing building entrances and windows create community-supportive places that support neighborhood life, discourage crime, and make walking an attractive alternative to the car. At the scale of the building, porches, overhangs and other architectural features offer protection from heat and reduce energy use.

Pedestrian-Supportive Environments. Good design influences how people perceive a neighborhood or city. Design can help make mixed-use centers (with shops, businesses and housing) vibrant and make residential neighborhoods more welcoming. Perhaps the most important “framework” for community life is how buildings face streets and open spaces. Windows should create the possibility that someone is watching, and therefore discourage unwanted behavior. Ground-floor entrances and (where viable) shops help make streets more active. In more urban locations, buildings will frame streets spatially, and building design and construction communicate a sense of pride and permanence. Furthermore, buildings shall reflect Albuquerque's unique climate and architectural traditions, and thoughtful site design should offer views toward the volcanoes, Sandia Mountains, and Rio Grande.

Business Destination. Businesses are increasingly concerned with the quality of life and housing opportunities that are available to their workforce. Thus, these urban environments increasingly influence where businesses choose to locate. Volcano Heights character, the West Side's well-educated workforce, and regional access provided by Unser, Paseo del Norte and regional transit, will help recruit businesses to the Area and improve the West Side's jobs-housing balance.

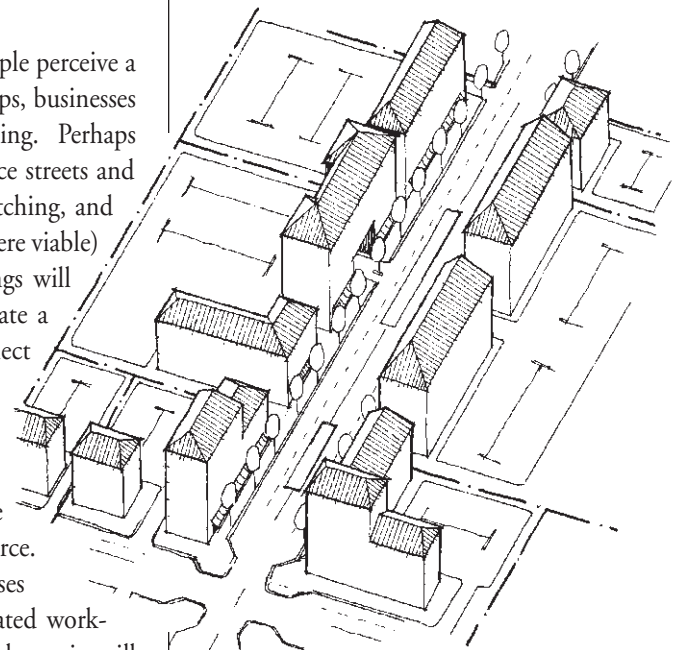


Diagram 11
Desirable Building Street Pattern

Great Streets. The design of streets influences community life. Streets can do more than move traffic. Residential streets can provide a safe place where neighbors come together and where children play, but they must be designed to calm traffic. Shopping streets can provide a stimulating place where people come together to people watch and participate in community life. Frequently traveled streets are places where residents can enjoy scenic views as part of their daily lives.

Conserving Nature & Celebrating Volcano Heights’ Scenic Beauty. The Sector Plan contains many provisions for minimizing the environmental impacts of development by setting development back from arroyos, open space and the escarpment contained in the Petroglyph National Monument, and by clustering buildings to maintain large contiguous expanses of open space. Many of the area’s unique outcroppings will also be conserved. These open spaces and others will form a connected network of open space, which will contain trails, maintain scenic views, and connect residents to the area’s unique wildlife and plant life.

Residential Neighborhoods. Street- and courtyard-facing residences—with entrances and windows facing pedestrian paths—support neighborhood life and improve safety. They make activity along the street more likely and make walking more inviting—whether it is to run an errand or use transit. Street-facing buildings, keep “eyes on the street” and deter unwanted behavior. Furthermore, when paired with calm streets, street-facing architecture can encourage neighbors to come together and socialize.

Not all residential buildings must have an entrance that faces a street. Buildings facing courtyards or natural open space are also acceptable if a direct path to a street is provided. While all residences need not face a street, all streets must have building windows and entrances that face onto them. Street-facing buildings are essential for safety, visual interest, and neighborhood life. Conversely, blank walls, garage doors, and parking lots have deleterious effects on streets (and parks), and shall be avoided or mitigated.

These standards as contained in the following regulations seek to ensure these critical dimensions for accomplishing a healthy and attractive neighborhood, while allowing flexibility with regard to style and use.

Diverse housing opportunities also support community health. Housing diversity allows all stages of life to be accommodated within the same community. It also provides opportunities to know and interact with neighbors from all walks of life, which benefits the health of the city as a whole. Traditional neighborhoods often provide a variety of single-family homes, townhouses, duplexes and apartments. Single-family detached homes can also vary considerably in building size, lots size and design. Development projects are increasingly recognizing the benefit of mixing housing types to provide a greater range of options and accelerate the rate at which homes can be sold.



Urban Residential Neighborhood

Urban Residential Neighborhood

2. BUILDING HEIGHTS & SETBACKS

Within 200 feet of open space and parks, within Areas adjacent to the Escarpment Face, designated as Conservation and Impact within the Northwest Mesa Escarpment Plan, as specified in **Exhibit 29, Building Height Volcano Heights**, buildings shall be limited to 15 feet in height (The overlap of the Conservation Area and Impact Area in the Northwest Mesa Escarpment Plan and the land uses within the *Volcano Heights Sector Development Plan* is shown in “Appendix A”).

Table 11
Building Heights and Setbacks

Primary Building	Town Center	Village Center	Neigh Mixed Use	Urban Resid	Office	Suburb. Resid.		Exec. Resid.	Rural Resid.
						Small Lot	Large Lot		
Building Height (1,2)	65' max (5 st.) 26' min (2 st.)		35' max (3 story) (7) 26' min (2 story)		52' max (4 st.) (7) 26' min (2 st.)	26' max (2 story)		18' max (1.5 story)	
Street-Facing Setback with Ground-Floor Storefront (3,4)		0' min. 5' max.				not applicable			
Street-Facing Setback without Ground-Floor Storefronts (4,5)			5' min. 10' max.			5' min 15' max	10' min. 20' max.	20' min. no max.	
Interior Side Setback (from property line)			attached or 5' min.			5' min.		10' min.	
Interior Side-Side Separation (btw. adjacent buildings)			attached or 10' min.			10' min		10' min.	
Interior Rear Setback (from property line) (6)			5' min. from alley row; 15' min. if no alley (projects < 10 acres only) (7) & 0' if detached garage			5' min. from alley row, 0' if detached garage, 15' if no alley		10' min. from alley row; 30' min. if no alley	
Interior Rear-Rear Separation (btw. adjacent buildings) (6)			attached or 30' min.			30' min.		40' min.	
Interior Side-Rear Separation (btw. adjacent buildings) (6)			attached or 15' min.			20' min		30' min.	

- (1) Occasional projections may extend 10' beyond these height limits, such as chimneys, cupolas, flagpoles, and screened equipment.
- (2) Within 300 feet of the BRT Transfer Station in the Town Center, building heights may extend to 90 feet (7 stories) for a building footprint area not to exceed 20,000 square feet total.
- (3) Features that may encroach into sidewalk right-of-ways up to the maximum specified: eaves (4' max.), awnings (8' max.), and minor ornamental features (2' max.). Over sidewalks, projections must be more than 8 feet above finished grade.
- (4) Buildings used to meet Street Frontage requirements (noted below) should not exceed the maximum street-facing setback indicated. Maximum setback requirements do not apply to buildings that are not being used to meet Street Frontage requirements.
- (5) Features that may encroach into street-facing setbacks (but not street right-of-ways), up to the maximum specified: arcades & trellises (to *street r.o.w.), porches & stoops (8' max.), eaves (4' max.), awnings (8' max.), and minor ornamental features.
- (6) In all zones, detached garages may come within 0 feet of rear and side property lines.
- (7) The portion of a structure in the Village Center, Office, Neighborhood Mixed Use, and Urban Residential zones that is within 35' of parcel in the Suburban Residential – Large Lot zone, shall have a height limitation of 26 feet.

3. PUBLIC BUILDING STANDARDS

Public buildings should have greater height at the entry. Positioning of an entry or tower at the end of a street vista can be a very effective statement emphasizing the prominence of public buildings.

Building Height: 39 foot (3 story) maximum; 24 foot (1.5 story) minimum

Setbacks:

Street-Facing Setback (from property line):

- 10 foot minimum; 30 foot maximum (to meet Frontage requirement below)
- Interior Side Setback (from property line): 15 foot minimum; no maximum
- Interior Rear Setback (from property line): 20 foot minimum; no maximum

Street Frontage. Public building fronts shall be built to within 20 feet of a street right-of-way for at least 300 feet or 50% of all available street frontage on each block face, whichever is less. To be counted toward this requirement, buildings must meet Entry & Transparency requirements (see below), and may not be separated from the street by on-site parking or drive lanes. Landscaped plazas and/or passages may be used in lieu of buildings for up to 10% of the required frontage.

Parking Lots. Parking lots should be placed to the rear and side of buildings. Parking lots shall not comprise more than 25% or 130 feet of the total available street frontage whichever is less.

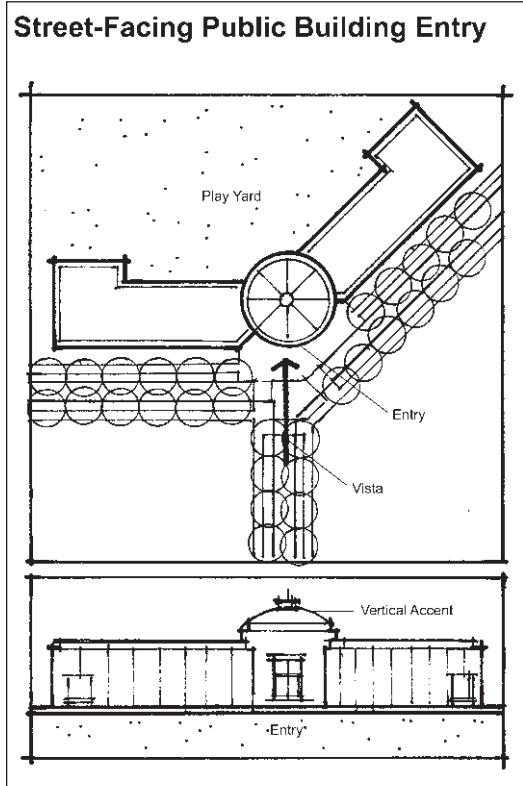


Diagram 13

Walls & Fences. Walls & fences shall conform to requirements noted within Landscape Design. In addition, gates shall be provided to provide direct connections between streets and on-site destinations. A pedestrian path and gate shall be provided at least every 300 feet.

Building Entry. Street-facing entrances shall be built to within 30 feet of a street right-of-way, and should be accompanied by additional building height and/or hardscaped forecourt for visual emphasis.

Vistas. Street-facing entrances (and accompanying height) should be positioned to accentuate vistas (or directed views) at the end of streets or where streets turn.

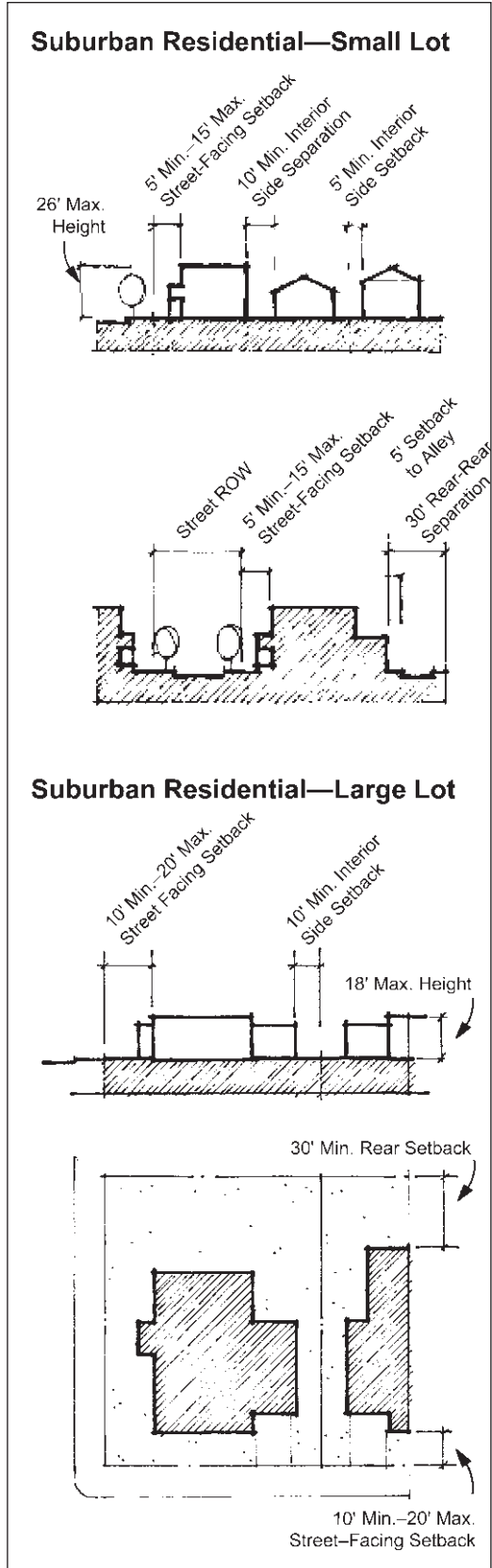


Diagram 12

Building Transparency. At least 35% of the area of street-facing elevations shall be comprised of windows and/or entrances. Measure Transparency by taking the total area of all windows and entrances, and dividing it by the total area of the street-facing building elevation. Glass block, mirrored glass, frosted glass, clerestory windows (sill heights over 5 feet from floor-level), and other obscured openings may not be used to meet this requirement. (Additional requirements for windows are contained in Architectural Standards.)

Play Areas. Ideally, the edge of play areas should abut natural features or parkland. Where the edge of play area abuts rear-yard fences or walls, landscaping shall maintain clear lines of sight for security.



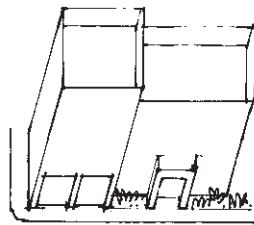
Civic Tower—Santa Fe

4. OTHER ESSENTIAL BUILDING-STREET RELATIONSHIPS

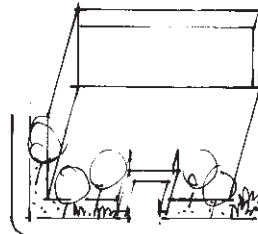
Street-facing Development. The Illustrative Plans in “III. Land Use” contain Urban Form Diagrams that show locations in each Center where building within 5 feet of a public sidewalk is required.

Storefronts are strongly encouraged in Town Center, Village Center, and Neighborhood Mixed Use zones and should be street-facing. Uses that qualify as Storefronts are: retail shops, personal services, restaurants, cafes, entertainment establishments, professional offices, day care, health clinics, community uses, and other uses that contribute similar levels of activity and visual interest to the street. To qualify as a Storefront, buildings must also conform to the Building Frontage, Setback, Entry, and Transparency requirements described below.

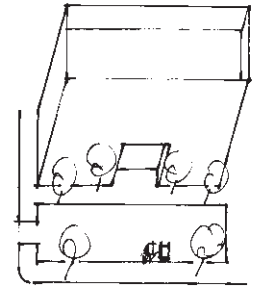
Mixed-Use/Commercial Setbacks



Conforms with 0' to 5' "storefront" setbacks.



Conforms with 5' to 10' setbacks in non-storefront areas.



Does not conform to setback requirements.

Diagram 14

Town Center, Village Centers, and Live-Work with Storefronts

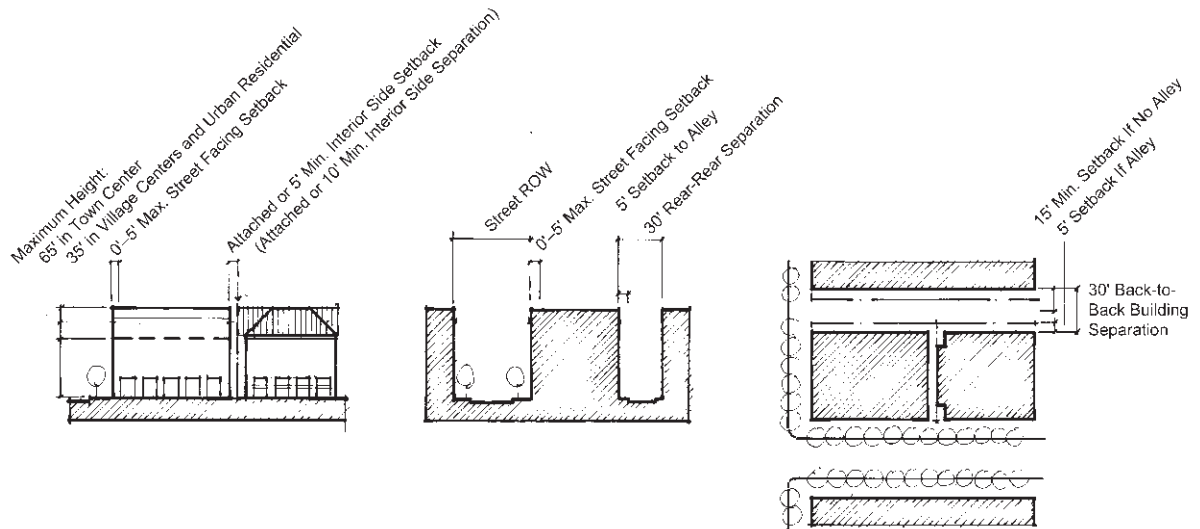


Diagram 15

Diagram 16

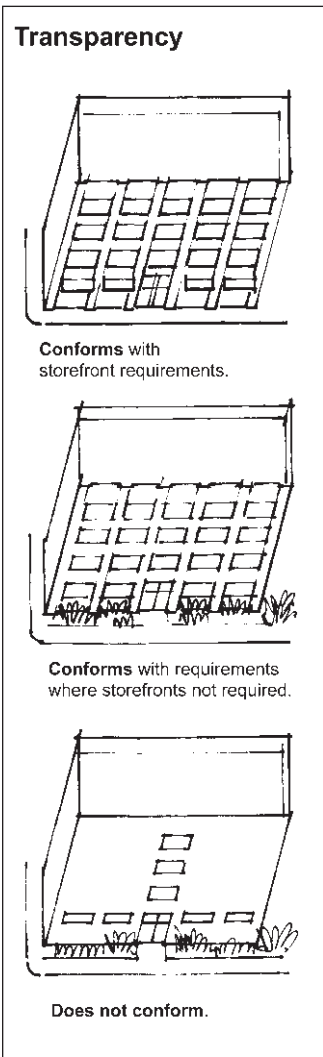
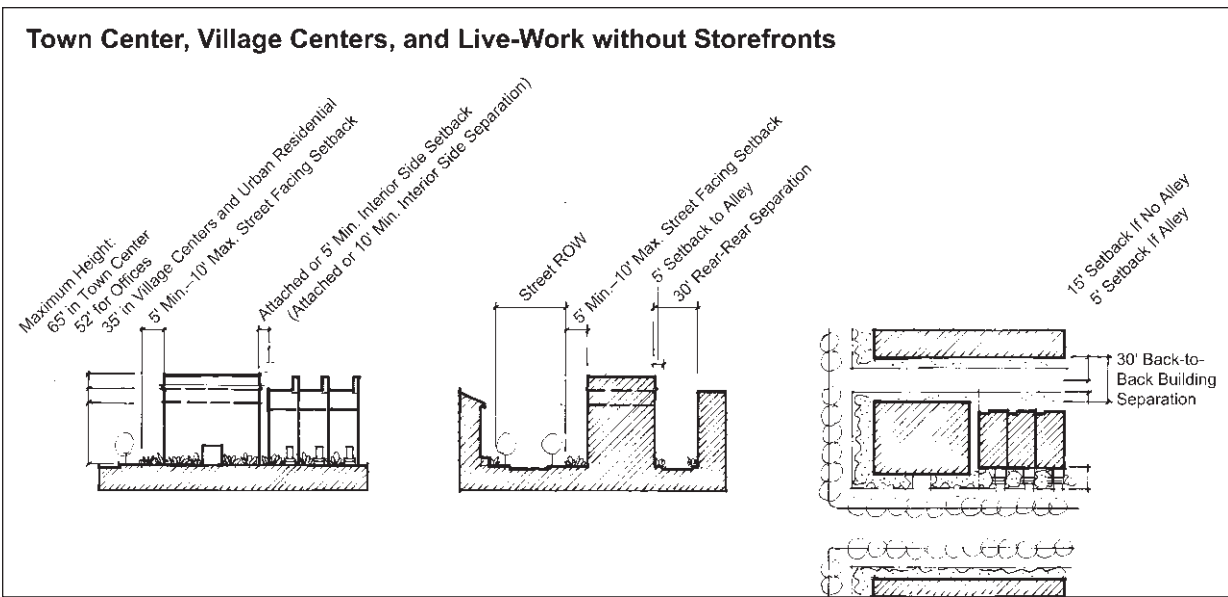


Diagram 18

Street Frontage Length. All streets shall be lined as specified below by buildings with windows and entries, not parking lots nor garage doors. In Town Center, Village Center, Office, and Neighborhood Mixed Use areas, building façades shall occupy at least 75% of the available street frontage on each side of a block (i.e. each block face). A substantial part, not less than 50%, of the building façades shall be accompanied by portals, verandas, or arcades. In Urban Residential areas, building façades should occupy at least 50% of the available street frontage on each block face.

To be counted toward this requirement, buildings must be within the maximum allowable street-facing setback (see “Setbacks” above) and meet Entry & Transparency requirements (below). Qualifying buildings may not be separated from the street by on-site parking or drive lanes. Landscaped plazas and/or passages may be used in lieu of buildings for up to 10% of the available frontage. The required frontage may be reduced to provide a single 20 foot driveway, where site access cannot be provided otherwise. Blocks must conform with “Block Size” requirements (see “II. Transportation, 2. Street Network” element). Construction may be phased along a block face, but a developer guarantee shall be required to enforce this provision.

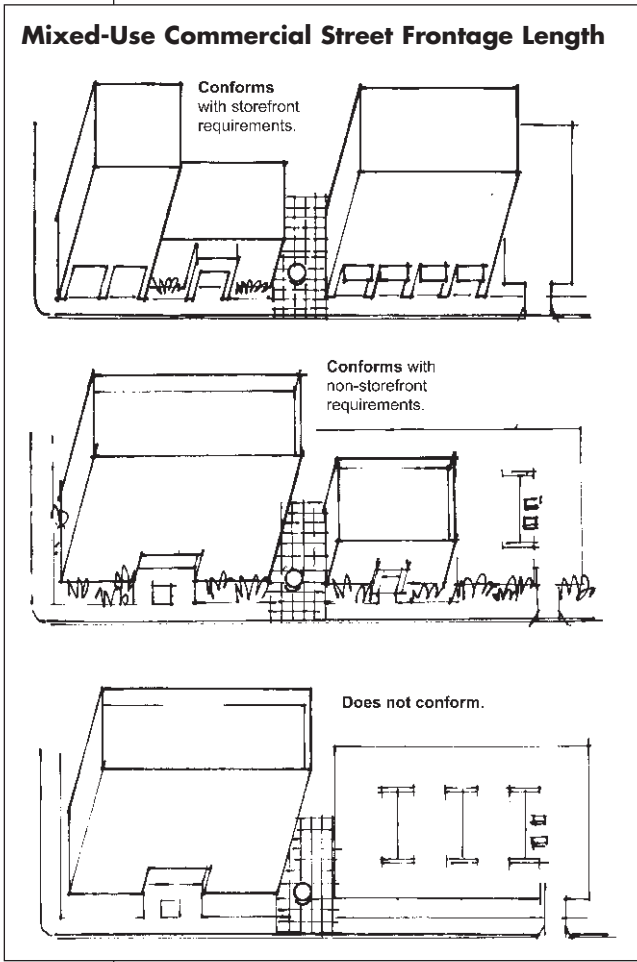


Diagram 17

Building Entry. (See **Diagram 19, Street Facing Residential Entries** and **Diagram 20, Buildings Oriented to Courtyard**) Primary entries for new buildings shall connect to a street via a sidewalk, connecting directly and visibly from the street where possible, otherwise connecting via landscaped courtyard(s) or plaza(s). To be clearly expressed and provide shelter from sun and rain, residential building entries shall have the following features with the floor area stipulated below.

- **Apartment buildings**— a covered porch or interior vestibule with 60 sq. ft. floor area and at least 6 feet clear in any direction; interior vestibule entry doors shall be accompanied by an overhang and clear glazing within the door or immediately to the side of the door;
- **Single-family detached houses**— a covered porch with 100 sq. ft. floor area and at least 6 feet clear in depth and 12 feet clear in width.
- **Townhouses**— a covered porch, veranda or stoop with 40 sq. ft. floor area and at least 6 feet clear in any direction.

Building Transparency. At least 25% of the area of street-facing elevations shall be comprised of windows and/or entrances. To qualify as a Storefront, at least 50% of the ground-floor elevation shall be comprised of windows and/or entrances. Transparency is measured by taking the total area of all windows and entrances, and dividing it by the total area of the street-facing building elevation. Glass block, mirrored glass, frosted glass, clerestory windows (sill heights over 5 feet from floor-level), and other obscured openings may not be used to meet this requirement. (Additional requirements for windows are contained in “Architectural Standards”.)

Garages for Residential Building Types. Within the Town Center, Village Center, Urban Residential, Neighborhood Mixed use, and Suburban Residential—Small Lot zones, garage access shall be off alleys except where lot access cannot be otherwise provided in which case they shall be accessed via a side drive where one of the garage sides abuts the rear edge or the Building Envelope or the back yard setback, or attached to the back of the house within the Development Envelope.

Within the Suburban Residential—Large Lot zone, garages shall be accessed via alleys, a side drive where one of the garage sides abuts the rear edge of the Building Envelope or the backyard setback, or attached to the back of the house within the Development Envelope.

Within Executive Residential, and Rural Residential zones, garages shall be via a side drive and may not comprise more than 30% of any single family street facing façade and shall be set back at least 25 feet from the street or 10 feet behind the front façade, whichever is greater.

These standards do not apply to parking structures that are addressed elsewhere.

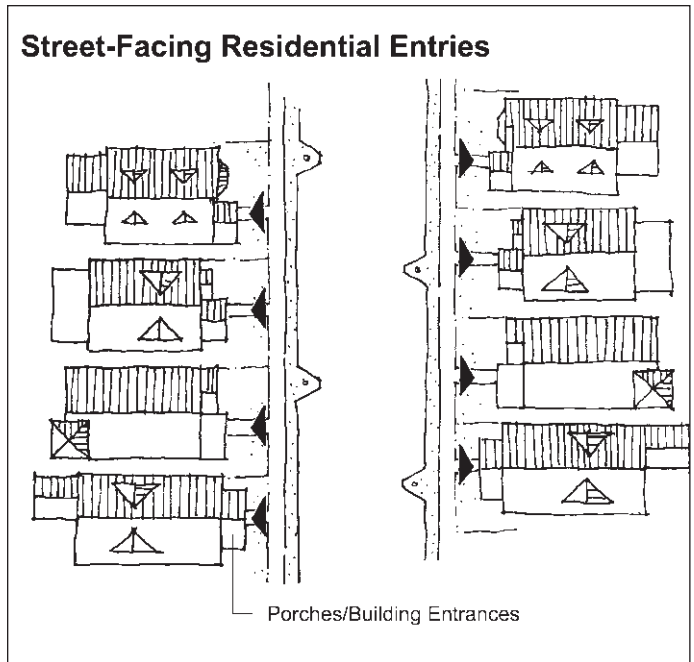


Diagram 19

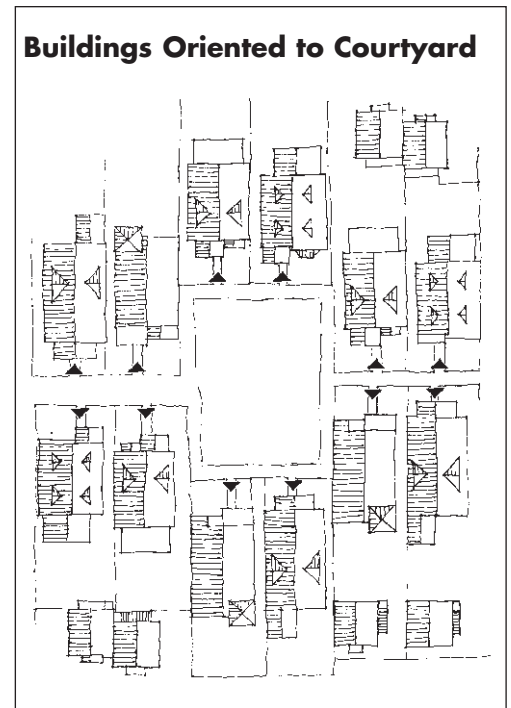
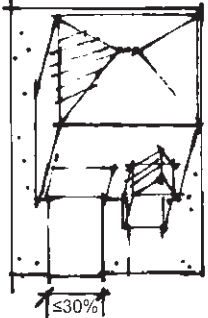


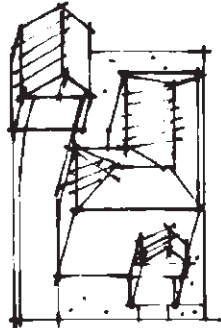
Diagram 20

Garages and Residential Street Frontage

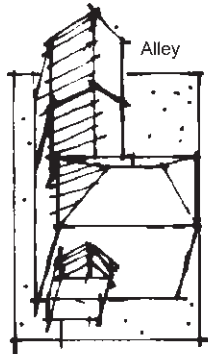
Single-Family



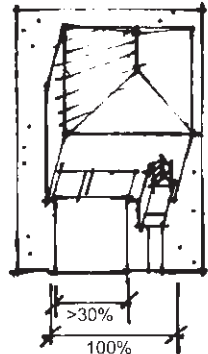
Executive Residential and Rural Residential conforms.
Garage 30% or less of front facade.



Conforms.
Garage accessed via side drive.

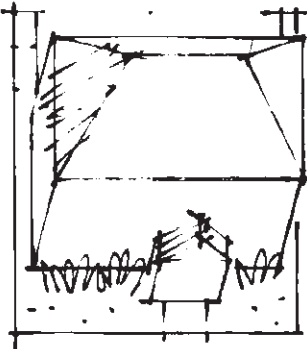


Conforms.
Garage accessed via alley.

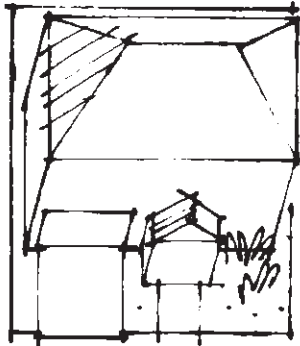


Does not conform.
Garage over 30% of front facade prohibited in Executive Residential and Rural Residential areas; all front garages prohibited in other areas.

Multi-Family



Conforms.
Alley accessed garage.



Does not Conform.
Garage on front facade.

Diagram 21

5. PARKING STANDARDS

Projecting Demand. For individual uses, peak demand for individual uses should be calculated by using **Table 12, Peak Demand for Individual Uses** (below) and by applying reduction factors for mixed-use development and proximity to transit.



Residential entries dominated by garage doors not permitted.

**Table 12
Parking Standards
Peak Demand for Individual Uses**

Amusement enterprises	1 space per 4 occupants
Banquet halls	1 space per 4 seats
Bars, pubs, and cocktail lounges	1 space per 4 seats
Cultural facilities	1 space per 3 seats
Churches and other places of worship	1 space per 4 seats
Cinemas, theatres, & auditoriums	1 space per 3 seats
Community & Recreation Facilities	1 space per employee plus 1 space per 1,000 square feet, plus curbside drop-off
Financial, insurance, & real estate services	3 spaces per 1,000 square feet (net leasable area)
Food stores	3 spaces per 1,000 square feet (net leasable area)
General merchandise retail	3 spaces per 1,000 square feet (net leasable area)
Health clubs	3 spaces per 1,000 square feet (net leasable area)
Lodging	1 per room
Parks, Plazas & Passive Open Space	On-Street within 1 block, unless demand is demonstrated to be higher. 5 to 7 off-street parking spaces to accommodate ADA parking and parents with strollers.
Personal services	3 spaces per 1,000 square feet (net leasable area)
Professional services	3 spaces per 1,000 square feet (net leasable area)
Residential and Live-Work	1 space per 1 bedroom & studio 1.5 spaces per 2 bedrooms 2 spaces per 3+ bedrooms
Residential Accessory Units	1 space per unit
Restaurants	1 space per 4 seats
Retail trades	3 spaces per 1,000 square feet (net leasable area)

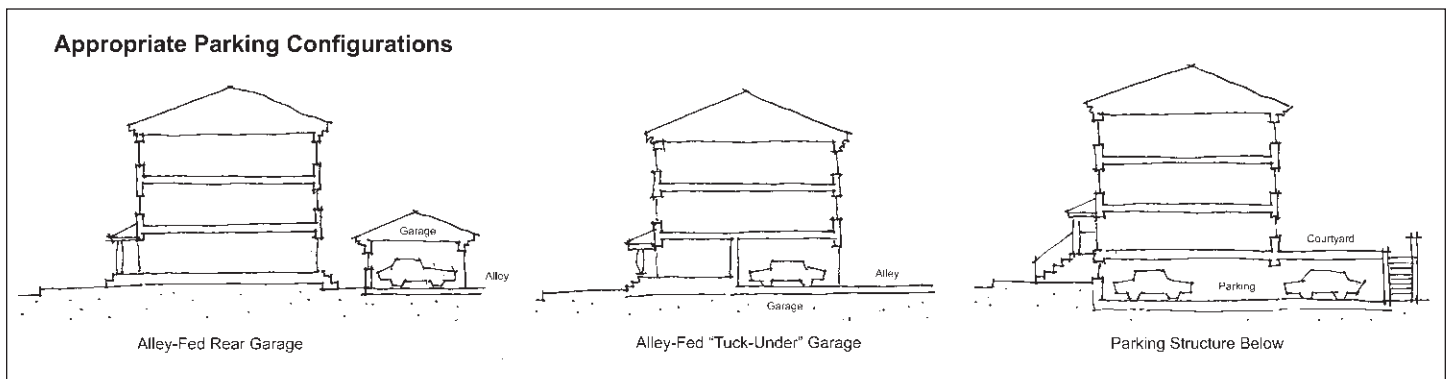


Diagram 22

Parking reductions may be taken for the following.

- Uses in mixed-use Village Center or Town Center, or within 650 feet of a Village Center or Town Center, may factor a 20% reduction in parking requirements.
- Uses from 650 feet to 1300 feet of a Village Center or Town Center may factor a 10% reduction in parking.
- Uses within 650 feet of Bus Rapid Transit stops may factor a 20% reduction in parking requirements.
- Uses from 650 feet to 1300 feet of Bus Rapid Transit stops, or within 650 feet of other bus stops, may factor a 10% reduction in parking requirement.

Reduction factors may be added together where uses are near both a mixed-use center *and* transit but the total will not exceed 30% reduction.

Calculating Supply. Parking requirements shall be met by considering the sum of all on-site parking (at surface and in structures), *plus* on-street parking contained within or immediately adjacent to the project, plus contributions made by off-site parking facilities within 900 feet (including joint use facilities).

Parking Dimensions–On-Site. Parking spaces shall be assumed to have a length of 18 feet; this may be reduced to 16 feet where cars can overhang wheel stops or curbs. Standard parking spaces shall have a width of 9 feet, and compact parking spaces shall have a width of 8.5 feet. Within every parking lot or garage, up to 25% of all spaces shall be compact and shall be dispersed throughout any lot.

Parking Dimensions–On-Street. On-street parking spaces shall have a length of 20 feet and a width of 7 feet.

Landscaping. Surface parking shall have one tree planted adjacent to every six parking spaces. Diamond-shaped tree wells (approximately 5 feet x 5 feet) are an efficient means to meet this requirement, as they take advantage of car overhangs. Surface parking lots may not exceed a dimension of 260 feet in any direction without providing a landscaped pedestrian walkway.

Parking Location & Design. Street Frontage requirements (see “4. Other Essential Building-Street Relationships” above) necessitate that parking lots be placed to the rear or side of buildings. Where parking lots abut streets, a 5 foot landscaped setback shall be provided, which shall contain a 3 foot hedge or screen wall.

Parking Structures. Street Frontage requirements apply. Parking structures shall contain ground-floor storefronts or residences along 80% of any street-facing frontage.

Neighborhood Permit Parking. Neighborhoods adjoining a Town Center, Village Center, Neighborhood Mixed Use Area, Office Campus, high school site, and access points to the Petroglyph National Monument, parks, and open space may initiate a petition and establish a Neighborhood Permit Parking system without regard to the percentage of on-street parking spaces used by persons who are not residents of the neighborhood.

6. CONSERVATION DEVELOPMENT AND DEVELOPMENT ENVELOPES

Intent and Definitions

The *Comprehensive Plan*, *West Side Strategic Plan* (WSSP), and the *Northwest Mesa Escarpment Plan* (NWMEP) provide substantial support preserving open space, the landscape and other features of the natural environment, and view corridors within the Volcano Heights Plan Area. An adopted goal of the WSSP is “Protecting significant natural assets of the West Side escarpment, bosque, open space, views, clean air and water” (Goal 6). WSSP Policy 7.10 states: “The City of Albuquerque...shall protect and expand both public and private open space on the West Side...Private developers are encouraged to include open space in all major private developments...” Both the *Comprehensive Plan* (Policy 5.f) and the WSSP (Policy 7.24) endorse “cluster housing to provide more open space and efficient provision of infrastructure” In the NWMEP, Policy 11-5 states “Private open space shall be left in its natural undeveloped condition” This guidance applies to the Conservation and Impact Areas in the NWMEP, but here we have applied it to the Volcano Heights Plan Area more broadly.

These policies are incorporated into the *Volcano Heights Sector Development Plan*, as described below, through:

- Large minimum residential lot sizes in the Executive Residential and Rural Residential zones especially,
- Development Envelopes,
- Conservation Easements,
- Trails / Linear Parks Dedication Requirements,
- Clustering,
- Appropriate Development Regulations.

Conservation Easements. Conservation Easements are permanent deed restrictions that limit construction and ecologically-harmful activities on a portion of a property that is owned by an individual. Except for restrictions on construction and certain activities, areas held in Conservation Easements remain available for private use and enjoyment. Conservation Easements provide a buffer to ecologically-sensitive areas. Conservation Easements also increase the potential for long views that are uninterrupted by development. Conservation Easements rarely contain provisions for public access. (The donation of a conservation easement may be considered to be a tax-deductible gift, provided that the easement is perpetual and donated exclusively for conservation purposes to a qualified conservation easement or public agency.)

Development Envelope. That portion of an individual’s property that is not within a Conservation Easement is called the Development Envelope. Limits on construction

Conservation Easements and Development Envelopes

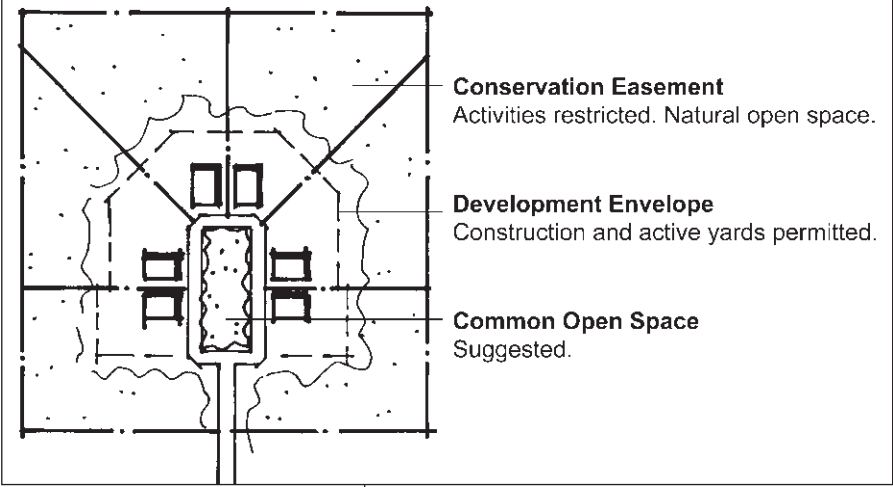


Diagram 23

are similar to those that apply to other developable areas. Landscaping within the Development Envelope is allowed using Plant List B (See section “V. Architectural and Landscape Design, 4. Landscape Design Standards”). Walls and fences as provided in these regulations also are allowed for the purpose of enclosing private areas, mitigating noise, and providing security.

Clustering. Clustering is the practice of bringing together two or more Development Envelopes. Clustering provides a larger, more contiguous ecological buffer area, uninterrupted by structures or environmentally damaging activities. Clustering also reduces the visual profile of development and provides longer, uninterrupted views. Combined with Conservation Easements, Clustering is an important ingredient for maintaining the rural character of an area.

Subdivision of Large Lots. In the Executive Residential and Rural Residential zones, subdivision of existing large parcels into large lots is possible, with public trails / linear park dedication requirements. The resulting private open space areas will help maintain the scenic quality of these areas by providing long views and by conserving unique features like small arroyos and rock outcroppings.

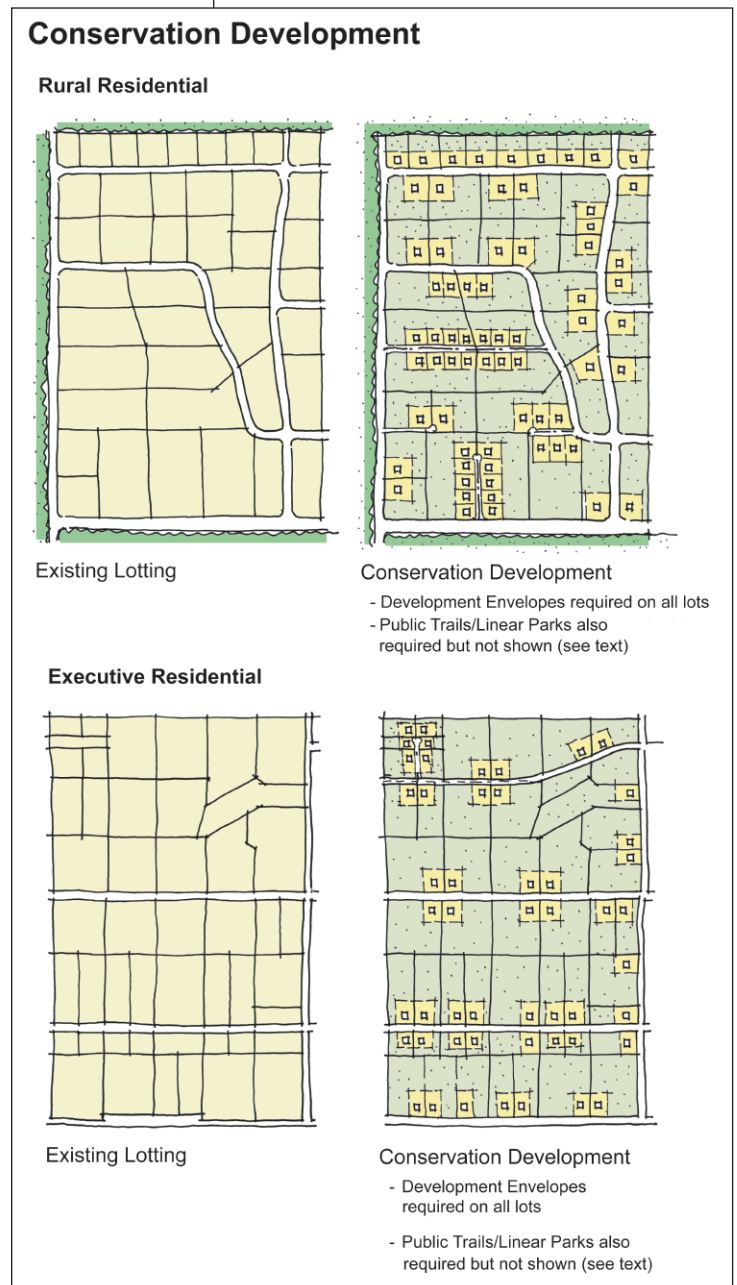
Requirements

Conservation Easements & Development Envelopes. Conservation Easements shall be established on private lots for areas outside of designated Development Envelopes as specified below. The size of the Development Envelopes varies by zone and parcel size.

In Conservation Easement areas, permanent deed restrictions shall prohibit: pasturing of livestock; gardening; the use of cars, motorcycles, or other motorized equipment; grading and construction (except to provide a 12 foot maximum width side yard driveway, an 8 foot maximum front walk, utility access, and a trail between Development Envelope and adjacent public open space and trails) and clearing and planting of vegetation (except for habitat restoration using Plant List A, see section “V. Architectural and Landscape Design” under “Landscape Design Standards”). Lot perimeter fencing is limited to post and wire. Disturbance of the soils in the Conservation Easement must be remediated using Plant List A (in “Appendix C”). Damage to slope shall be mitigated and rock outcrops shall be protected as provided in section “VI. Open Space, 5. Archeological Resources”. Naturalized stormwater features may be constructed, but must be based on a plan endorsed by both a qualified biologist and qualified hydrologist. Note that there are special design regulations for some development areas adjacent to open space and the Monument. These are covered in the Open Space Section of the Plan.

Public Trails / Linear Parks. Properties in Executive Residential and Rural Residential zones shall dedicate land to Public Trails / Linear Parks (as described by tables at the end of this section). These land dedication requirements are based on the planning objectives below.

Diagram 24



Public Trails / Linear Parks shall be multi-use, follow the topography of the environment, and be 30 foot minimum width and located approximately 1/4 mile from other trails and open space areas. Trails shall be designed to connect with adjacent open space as indicated on **Exhibit 33, *Open Space and Scenic Corridors Diagram*** and also shown in **Exhibit 34, *Multi-Use Trail Network*** and shown in **Exhibit 24, *Bicycle Trail Network***. The location and design of private open space shall be consistent with the conservation of the multiple resources of the Petroglyph National Monument, Major Public Open Space, and archeological sites. Trails shall be designed within master plans including those developed for Public Infrastructure Districts / Special Assessment Districts.

In Executive Residential Zone, it is assumed that three east-west and two north-south Public Trails / Linear Parks are needed. The north-south Trails shall be located approximately (a) from the north fork of the Boca Negra Arroyo just west of the Urban Residential zoned land adjacent to the Rainbow Village Center to the park / school site just north of the Middle Fork of the Boca Negra Arroyo; and (b) approximately midway between the trail in “a” above and the north-south Trail / Linear Park dividing the Executive Residential Zone and the Rural Residential Zone. The three east-west Trails shall be located approximately: (a) just south of the Middle Geologic Window from Moqui Street to the edge of the Rural Residential Zone; and (b) equally divided the area north of the Middle Fork of the Boca Negra Arroyo into three areas.

In the Rural Residential Zone, it is assumed that two east-west and one north-south Public Trails / Linear Parks are needed. The north south Trail is shown on the land use map dividing the Executive Residential Zone and the Rural Residential Zone from the North Geologic Window to the City Open Space at the west end of the Middle Fork of the Boca Negra Arroyo. One east west trail shall continue the trail just south of the Middle Geologic Window from Moqui Street to the edge of the Rural Residential Zone so that it connects to the City Open Space on the west side of the Plan Area. The other east west Trail shall continue the middle Trail through the Executive Residential Zone to the City Open Space on the west.

Fences between Public Trails / Linear Parks and private lots shall be designed to permit the movement of wildlife at their base. Post and wire fence shall be 3 inch-4 inch diameter wooden posts, approximately 36 inches in height, spaced about 15 feet apart, with no more than 4 strands of non-barbed wire. (See **Exhibit 32, *Allowed Perimeter Fencing*** for example)

Clustering. To “cluster” development, Development Envelopes shall abut a street or abut a neighboring Development Envelope. At least one side of a Development Envelope constituting at least 20% of the perimeter of the Development Envelope must be completely adjacent to another Development Envelope or to a street if an adjacent Development Envelope is not accessible. Clustering of two or more Development Envelopes is encouraged within Executive Residential and Rural Residential Zones and is required in the Suburban Residential–Large Lot zone.

Conservation Design Features

Ecologically and cultural sensitive area. Community Easements shall conserve ecologically and culturally sensitive areas. Ecologically sensitive areas may include arroyos and rock outcroppings and other natural areas with more abundant vegetation and wildlife. Culturally sensitive areas may include archeological sites and areas where development may be visually intrusive, as seen from public open spaces or frequently traveled roads.

Drainage. Impermeable surfaces shall not cover more than 50% of Development Envelope areas in Executive Residential and Rural Residential zones and 68% of the Development Envelope in the Suburban Residential–Large Lot zone. Stormwater shall not be concentrated, except through the use of naturalized swales. Stormwater features that occur outside of Development Envelopes, driveways, or street rights-of-way must be based on a plan endorsed by both a qualified biologist and qualified hydrologist.

Rural Streets. Only local streets with no parking (24 foot paved width) or one-side parking (28 foot paved width) shall be used in Executive Residential and Rural Residential areas. Gravel shoulders may be provided. Curbs shall not be used, except where needed to address site-specific erosion issues.

Trails. The trail network should connect to streets with signed trailheads.

Subdivision of Large Lots Provisions. Smaller lots sizes shall be granted, consistent with the following table. This table indicates minimum lot sizes and Trail / Linear Park Dedication Requirements for Executive Residential and Rural Residential Zones. Per the City Zone Code, parcels smaller than the minimum lot size are grandfathered and may contain no more than one residence and an accessory unit.

Table 13
**Minimum Lot Size and Trail/
Linear Park Dedication Requirements**

	Minimum Lot Size	Trail / Linear Park Dedication Requirement
Executive Residential	1 acre (43,000 s.f.)	5%
Rural Residential	2 acres (87,000 s.f.)	3%

Rural Residential–Private Commons Development

As addressed in “7. Rural Residential–Private Commons Development” in the “III. Land Use” section, Private Commons Development (PCD) is a permitted use in the SU-2 Rural Residential Zone in order to achieve a greater amount of private open space, private commons, clustering of homes, and smaller Building Envelopes.

A Private Commons Development may be established on a lot 4 acres or more in size within the Rural Residential Zone. The use is limited to single family residential with no accessory unit. The Public Trail / Linear Park Dedication shall be 3%. The private open space in the Conservation Easement shall be 65% of parcel size after the Trail / Linear Park Dedication. The Minimum Lot Size / Development Envelope shall be no larger than 15,000 sq. ft. and no smaller than 14,000 sq. ft. with 50% maximum impermeable surface.

Building Envelopes shall be clustered on two sides if possible. The area outside the Development Envelopes is the Conservation Easement, as provided above, and shall be a private commons and shall not be fenced except at the periphery of the parcel. The maximum building heights, setbacks, architectural design standards, placement of mechanical units, grading and drainage plan, landscape design standards, parking, lighting, design of walls and fences, and other design standards shall be as provided for the Rural Residential Zone in this Sector Plan.

A PCD is created through a Site Development Plan utilizing the approval process provided in Section 14-16-2-22 ROA 1994 SU-1 Special Use Zone and specifically for Planned Residential Development (PRD).

Development Envelopes

Development Envelopes are required for Suburban Residential–Large Lot, Executive Residential, and Rural Residential Areas regardless of whether a Density Bonus is applied.

Development Envelopes define an area in which buildings (including accessory structures), landscaping (restricted to the plants contained in Plant List B), construction activity, walls and fences, and recreational activities are permitted. Impermeable surfaces shall not cover more than 50% of Development Envelope areas in Executive Residential and Rural Residential zones and 68% of the Development Envelope in the Suburban Residential–Large Lot zone. Stormwater shall not be concentrated, except through the use of naturalized swales.

The sizes of Development Envelopes are restricted as follows.

- Development Envelopes in Rural Residential areas shall not exceed 20,000 square feet for lots 87,000 sq. ft. or larger. For lots 30,000 sq. ft. or smaller, the Development Envelope standard for Suburban Residential–Small Lot shall apply, i.e. 6,500 sq. ft. or 50% of the parcel size whichever is greater. For lots greater than 30,000 sq. ft. and smaller than 87,000 sq. ft., the Development Envelope shall be 50% of the parcel size whichever is greater not to exceed 20,000 sq. ft.
- Development Envelopes in Executive Residential areas shall not exceed 15,000 square feet for lots 43,000 sq. ft. or larger. For lots 20,000 sq. ft. or smaller, the Development Envelope standard for Suburban Residential–Small Lot shall apply, i.e. 6,500 sq. ft. or 50% of the parcel size whichever is greater. For lots greater than 20,000 sq. ft. and smaller than 43,000 sq. ft. the Development Envelope shall be 50% of the parcel size whichever is greater not to exceed 15,000 sq. ft.
- Suburban Residential–Large Lot. There are two standards for the Suburban Residential Area. Development Envelopes are the areas in which construction activity may occur and Plant List B must be used. (See “4. Landscape Design Standards” in section “V. Architectural and Landscape Design”). Development Envelopes shall not exceed 7,000 sq. ft. or 50% of the lot size, whichever is greater. This total does not include a drive access to the Development Envelope and a front walk which shall be direct and not wider than 12 feet and 8 feet respectively. Backyards are contained within Development Envelopes and are areas where recreational activities may occur. (See “4. Landscape Design Standards” in section “V. Architectural and Landscape Design”) Backyards only shall be located behind the residence.